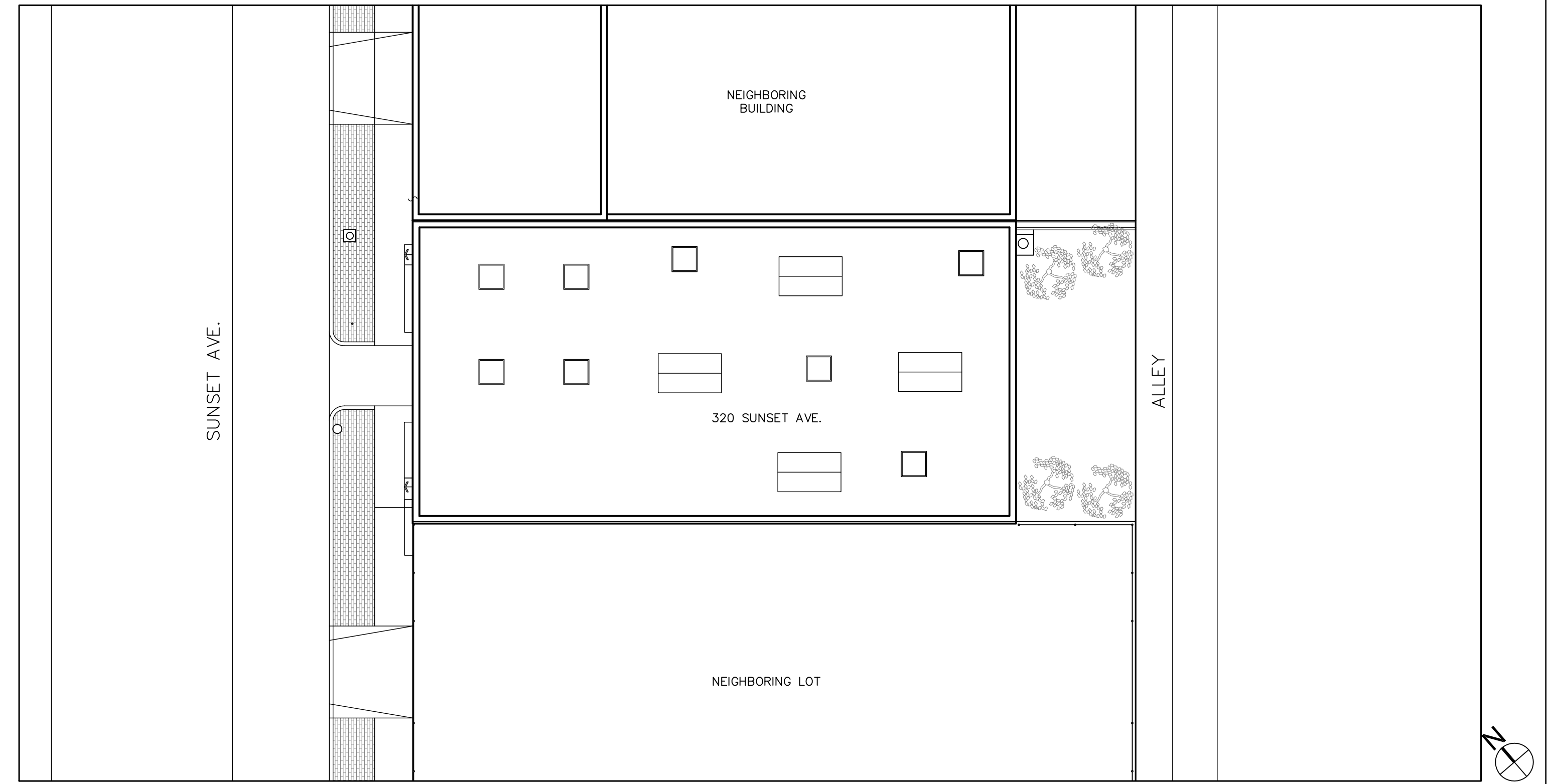


320 SUNSET AVE.

I.D. SET
MARCH 06, 2013

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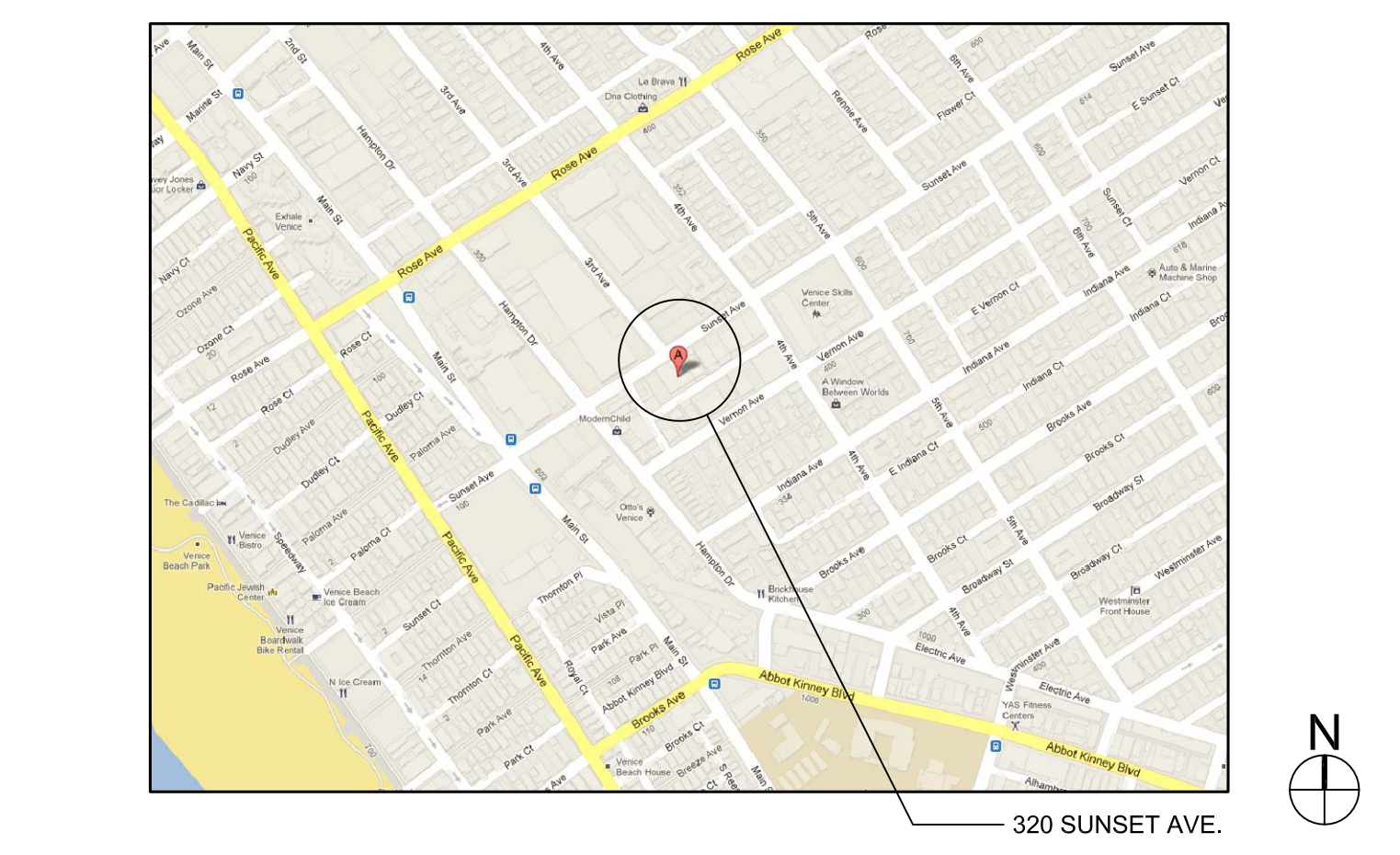
RENDERING

SITE PLAN SCALE 1/16" = 1'-0"

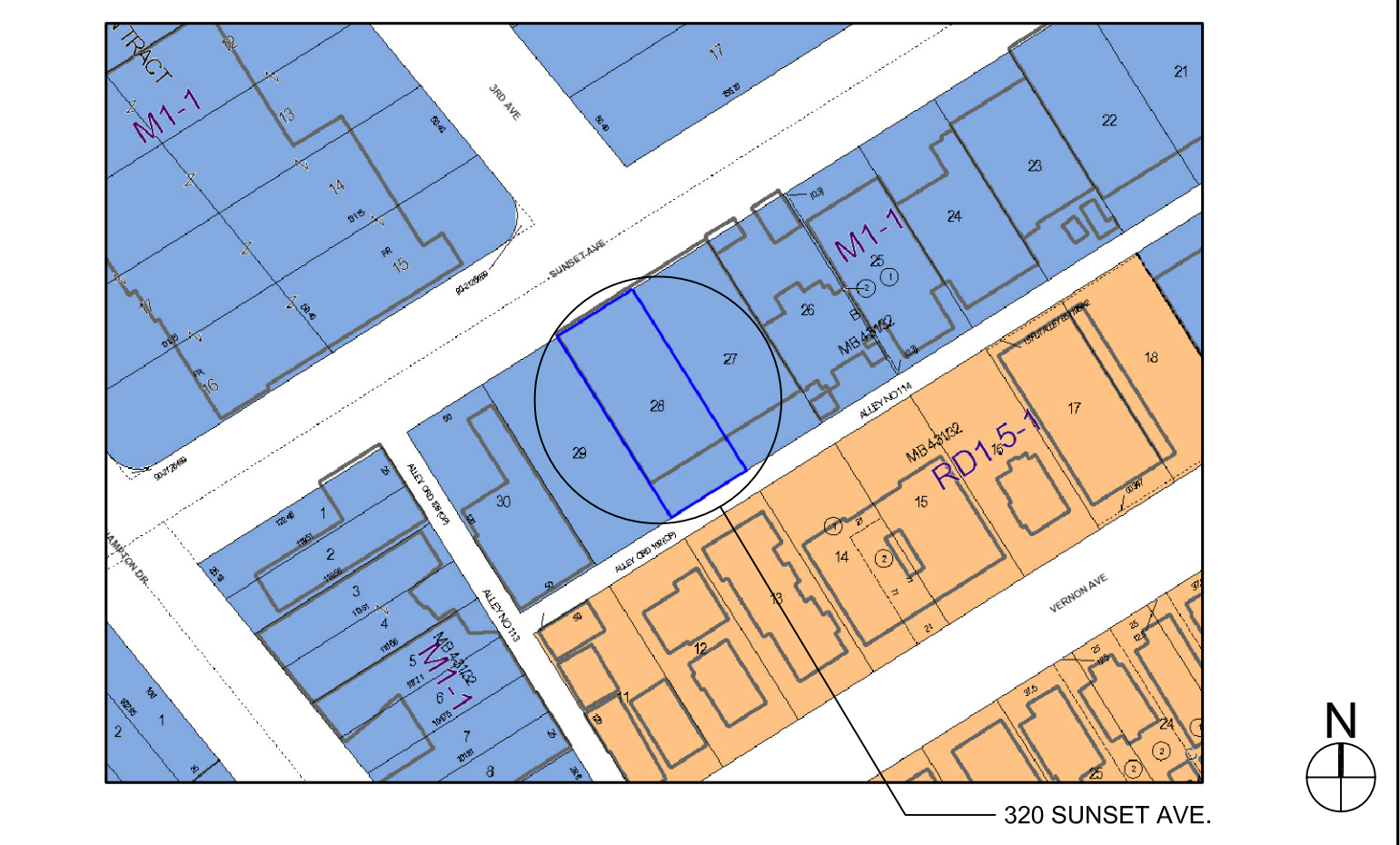


ADDRESS: 320 E SUNSET AVE
 VENICE CA 90291
 OWNER: FRAN CAMAJ
 SCOPE OF WORK: PROPOSED TENANT IMPROVEMENT
 PIN NUMBER: 109-5A143 83
 APN: 4286007022
 TRACT: VAWTER OCEAN PARK TRACT BLOCKS B C & D
 BLOCK: B
 LOT: 28
 MAP REFERENCE: M B 4-31/32
 ZONE: M1-1
 LEGAL JURISDICTION: VENICE
 OCCUPANCY TYPE: COMMERCIAL / RETAIL
 BUILDING TYPE: III
 YEAR BUILT: 1924

PROJECT INFORMATION



LOCATION MAP SCALE NTS



VICINITY MAP SCALE NTS

- G-0-00 COVER SHEET
- G-0-00 INDEX
- G-0-50 OCCUPANCY PLANS / DIAGRAMS
- D-1-01 DEMOLITION PLAN
- A-1-01 FLOOR PLAN
- A-1-02 FLOOR FINISH PLAN
- A-1-03 REFLECTED CEILING PLAN
- A-1-04 EQUIPMENT PLAN
- A-2-01 EXTERIOR ELEVATIONS
- A-2-02 INTERIOR ELEVATIONS
- A-2-03 INTERIOR ELEVATIONS

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NOT FOR CONSTRUCTION

PROJECT #: 028

DRAWING TITLE:

TITLE SHEET

DRAWING NUMBER:

G-0-00

DRAWING ISSUE LEGEND	
1	SCHEMATIC DESIGN

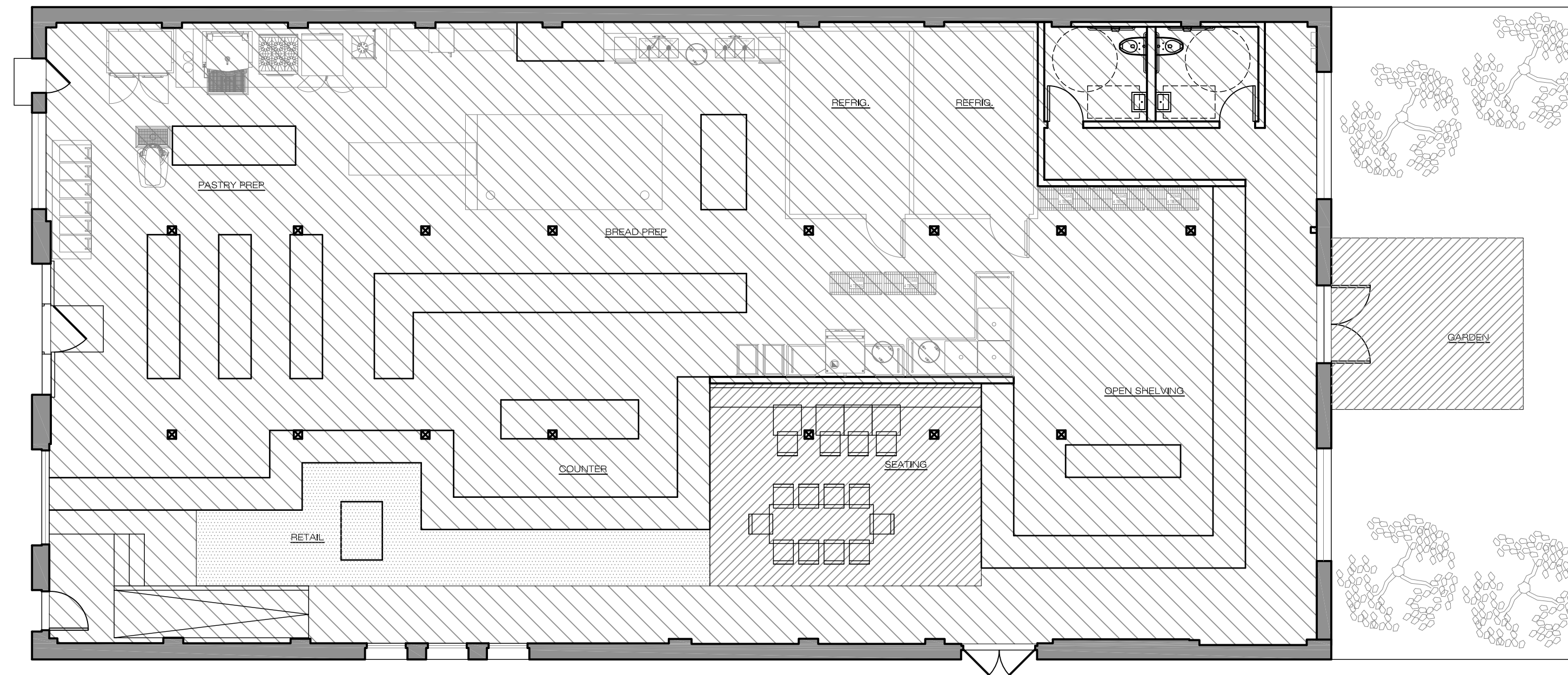
DRAWING INDEX

DATE	ISSUE/REVISION

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 (310) 670-7547

OWNER	FRAN CAMAJ
STR. ENGINEER	-
M.E.P. ENGINEER	-
CIVIL ENGINEER	-
LIGHTING DESIGNER	-



PROPOSED PARKING SUMMARY (FOR SUBJECT AREA):

EXISTING SQUARE FOOTAGE = 4,675 SQ. FT
 PROPOSED SQUARE FOOTAGE = 4,675 SQ. FT

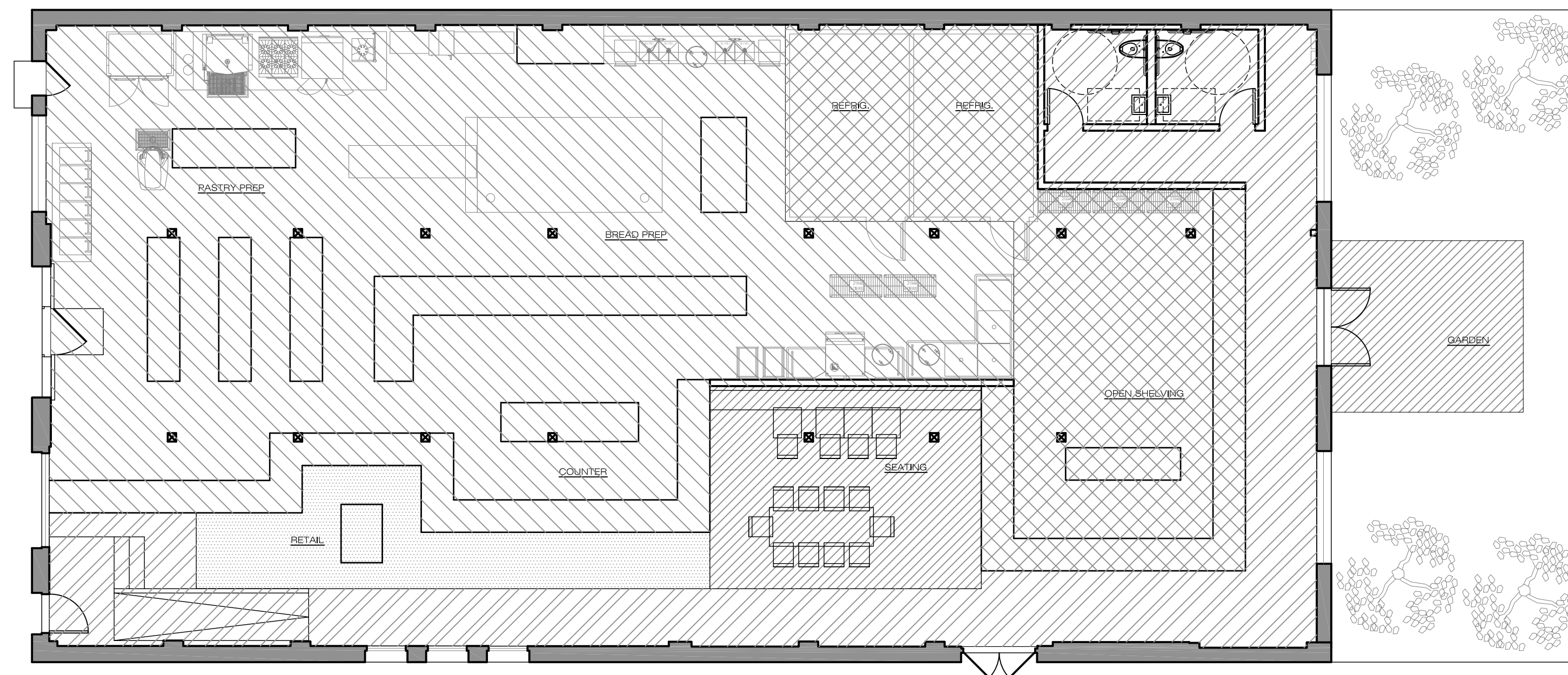
320 SUNSET AVE:
 PROPOSED RETAIL: 232 SQ. FT = 1.03 SPACES
 (232 / 225 = 1.03)
 PROPOSED BAKERY AREA: =
 (4116.2 / 500 = 8.23)

PROPOSED SERVICE FLOOR AREA = 10.46 SPACES
 (523.15 / 50 = 10.46)

REQUIRED = 20 SPACES
 (E) SPACES = 20 SPACES

- PROPOSED SERVICE AREA: (1:50)
- BAKERY AREA:
- RETAIL AREA:

PARKING CALCULATION DIAGRAM SCALE
1/8" = 1'-0" 2



OCCUPANT LOAD CALCULATIONS FOR PROPOSED USE OF STRUCTURE:

320 SUNSET AVE:
 PROPOSED SERVICE AREA (1:15) = 523/15 = 34.9 TOTAL
 PROPOSED RETAIL AREA (1:100) = 232/100 = 2.3 TOTAL
 PROPOSED BAKERY (KITCHEN) (1:200) = 2,300/200 = 11.5 TOTAL
 PROPOSED BAKERY STORAGE (1:300) = 853/300 = 2.84 TOTAL
 PROPOSED OTHER USES (1:300) = 963/300 = 3.21 TOTAL

 =55 OCCUPANTS TOTAL

- PROPOSED SERVICE AREA (ASSEMBLY): (1:15)
- RETAIL (BUSINESS): (1:100)
- BAKERY (COMMERCIAL KITCHEN): (1:200)
- BAKERY STORAGE (MERCANTILE): (1:300)
- OTHER USES "BATHROOMS, STORAGE, ETC.": (1:100)

OCCUPANCY CALCULATION DIAGRAM SCALE
1/8" = 1'-0" 1

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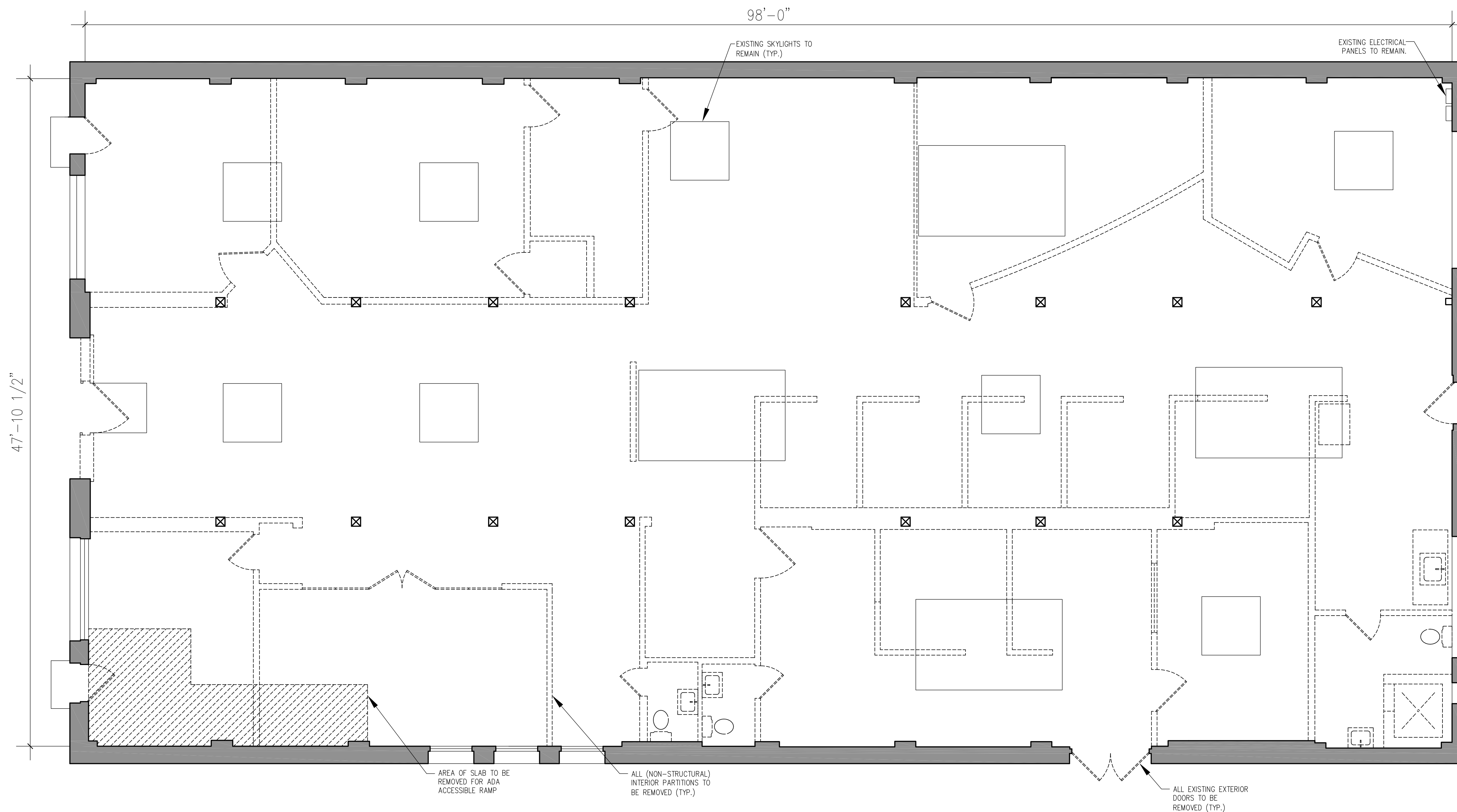
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PROJECT #: 028

DRAWING TITLE:
 DEMO FLOOR PLAN

DRAWING NUMBER:

G-0-50



(E) GROUND LEVEL DEMOLITION PLAN SCALE $1/4" = 1'-0"$ 1

BUILDING DEPT. NOTES CONT.

- EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
- EXIT SIGNS ILLUMINATED BY AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT CANDLES (54 LUX)
- INTERNALLY ILLUMINATED SIGNS SHALL BE LISTED AND LABELED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 2702
- EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES
- EXIT SIGNS SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM THAT WILL PROVIDE AN ILLUMINATION OF NOT LESS THAN 90 MIN. IN CASE OF PRIMARY POWER LOSS.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- DOOR HANDLES, LOCK AND OTHER OPERATING DEVICES SHALL BE INSTALLED AT A MIN. 34" AND A MAX. 48" ABOVE THE FINISHED FLOOR.
- THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED
- ALL EGRESS DOOR OPERATION SHALL ALSO COMPLY WITH SECTION 1008.1.9-1008.1.9.7
- THE MEANS OF EGRESS, INCLUDING EXIT DISCHARGE, SHALL BE ILLUMINATED AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED.
- THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE AT THE WALKING SURFACE.

- THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE THE FOLLOWING AREAS:
 - ASILES AND UNENCLOSED EGRESS STAIRWAYS IN ROOMS AND SPACES THAT REQUIRE TWO OR MORE MEANS OF EGRESS.
 - CORRIDORS, EXIT ENCLOSURES AND EXIT PASSAGEWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - EXTERIOR EGRESS COMPONENTS AT OTHER THAN THE LEVEL OF EXIT DISCHARGE UNTIL EXIT DISCHARGE IS ACCOMPLISHED FOR BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - INTERIOR EXIT DISCHARGE ELEMENTS, AS PERMITTED IN SECTION 1027.1, IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
 - EXTERIOR LANDINGS, AS REQUIRED BY SECTION 1008.1.5, FOR EXIT DISCHARGE DOORWAYS IN BUILDINGS REQUIRED TO HAVE TWO OR MORE EXITS.
- THE EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR. THE INSTALLATION OF THE EMERGENCY POWER SYSTEM SHALL BE IN ACCORDANCE WITH SECTION 2702.
- EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE INITIAL ILLUMINATION THAT IS AT LEAST AN AVERAGE OF 1 FOOT-CANDLE (11 LUX) AND A MINIMUM AT ANY POINT OF 0.1 FOOT-CANDLE (1 LUX) MEASURED ALONG THE PATH OF EGRESS AT FLOOR LEVEL. ILLUMINATION LEVELS SHALL BE PERMITTED TO DECLINE TO 0.6 FOOT-CANDLE (0.6 LUX) AVERAGE AND A MINIMUM AT ANY POINT OF 0.06 FOOT-CANDLE (0.6 LUX) AT THE END OF THE EMERGENCY LIGHTING TIME-DURATION. A MAXIMUM-TO-MINIMUM ILLUMINATION UNIFORMITY RATIO OF 40 TO 1 SHALL NOT BE EXCEEDED.

- SHOW DRAFT STOP LOCATIONS ON PLANS
 - IN BUILDINGS USED FOR OTHER THAN RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN WOOD FRAME FLOOR CONSTRUCTION CONTAINING CONCEALED SPACE. SUCH DRAFT STOPS MUST BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED (1,000) SQUARE FEET (717.3.3)
 - IN BUILDINGS USED FOR OTHER THAN RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN THE ATTIC (MANSARDS) (OVERHANGS) (FALSE FRONTS SET OUT FROM WALLS) (SIMILAR CONCEALED SPACES) FORMED BY COMBUSTIBLE CONSTRUCTION. SUCH DRAFT STOPS MUST BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACES DOES NOT EXCEED (3,000) SQUARE FEET (717.3.1)
 - DRAFT-STOPPING MATERIALS MUST NOT BE LESS THAN 1/2-INCH GYPSUM BOARD, 3/8-INCH PLYWOOD, 3/8-INCH TYPE 2-44 PARTICLE BOARD OR OTHER MATERIALS APPROVED BY THE BUILDING DEPARTMENT. DRAFT-STOPPING MUST BE ADEQUATELY SUPPORTED (717.3.1)
 - FIRE BLOCKING MUST BE APPROVED IN ACCORDANCE WITH SECTION 717 AT THE FOLLOWING LOCATIONS:
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.
 - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10-FOOT INTERVALS ALONG THE LENGTH OF THE WALL.
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR IN SOFFITS, DROP CEILINGS, AND COVE CEILINGS.

- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS IS UNFINISHED.
- IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.
- PROVIDE FIRE SPRINKLERS THROUGHOUT. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION (12.21A17(D), 903.2)

LEGEND

- SOLID LINE: EXISTING WALL TO REMAIN
- DASHED LINE: EXISTING ARCHITECTURAL, STRUCTURAL & MEP ELEMENTS TO BE DEMOLISHED
- HATCHED AREA: EXISTING FLOOR SLAB TO BE DEMOLISHED

SYMBOLS:

- INTERIOR FURNISHING: FURNISHING ITEM NUMBER
- FIXTURE DESIGN: ITEM NUMBER
- SHEET NUMBER: SHEET NUMBER
- CEILING HEIGHT: SHEET NUMBER OR COLOR NUMBER
- CEILING HEIGHT OR ELEVATION CHANGE: SHEET NUMBER OR ELEVATION CHANGE
- INTERIOR FLOOR FINISH OR MATERIAL: ITEM NUMBER (FROM DECORATOR)
- MATERIAL OR COLOR: WALL FINISH
- ITEM NUMBER: ITEM NUMBER
- REFERENCE NUMBER: REFERENCE NUMBER
- ARCHITECTURAL DETAIL: SHEET NUMBER
- SPOT DETAIL: SPOT DETAIL
- MATCH LINE: MATCH LINE
- REFERENCE NUMBER: REFERENCE NUMBER
- SHEET NUMBER: SHEET NUMBER
- ELEVATION REFERENCE: ELEVATION REFERENCE
- SHEET NUMBER: SHEET NUMBER

- DEMOLITION NOTES:**
- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
 - PROVIDE AND MAINTAIN BARRICADES, LIGHTING AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
 - ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
 - IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE EFFECTED AREAS AT NO COST TO THE OWNER.
 - REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
 - REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
 - REMOVE ABANDONED HVAC EQUIPMENT, INCLUDING DUCT WORK.
 - REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, UNLESS OTHERWISE NOTED
 - REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.

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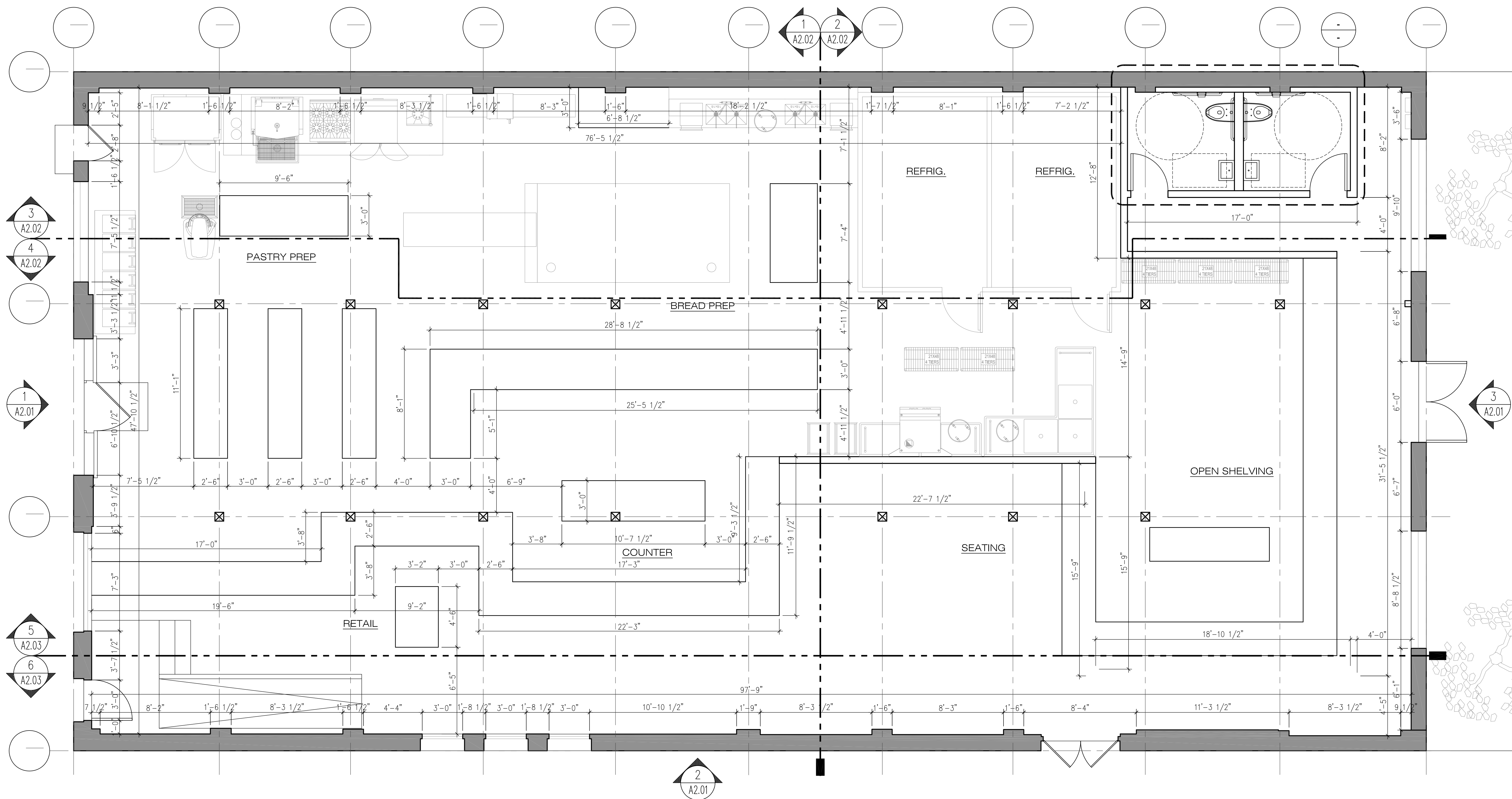
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 PROJECT #: 028
 DRAWING TITLE:
DEMO FLOOR PLAN
 DRAWING NUMBER:
D-1.01

DATE	ISSUE/REVISION

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marshall projects
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 (213) 870-7547

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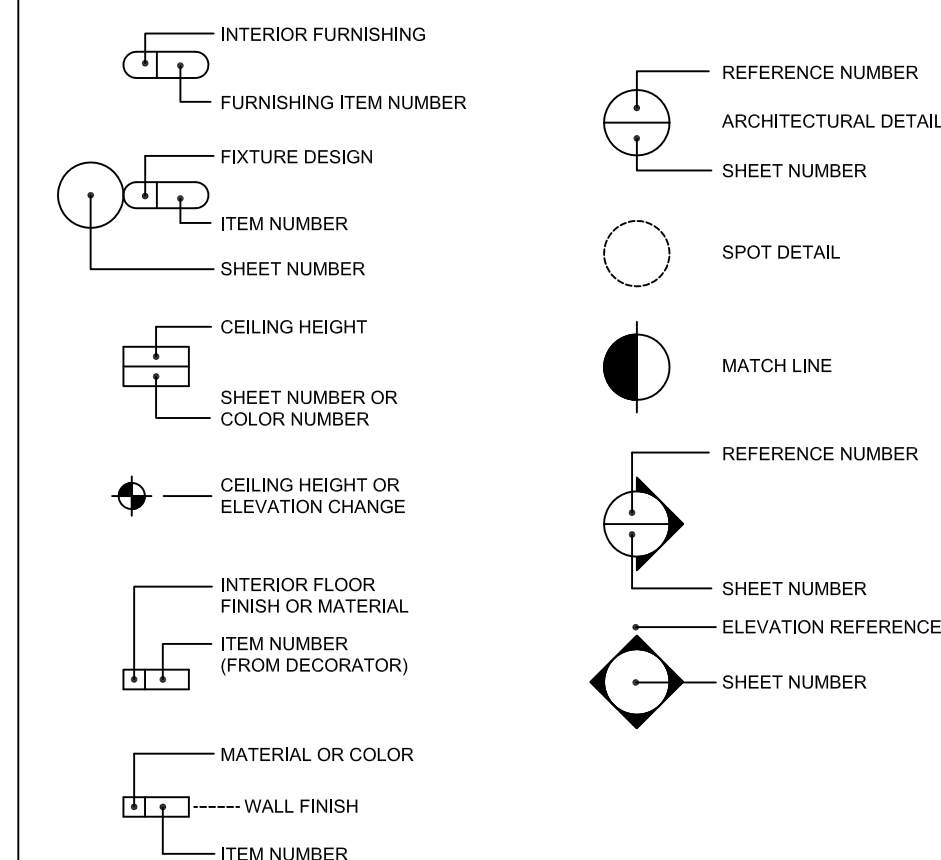
GROUND FLOOR PLAN

SCALE
1/4" = 1'-0" 1

WALL LEGEND



SYMBOLS:



CONSTRUCTION NOTES:

- FIELD VERIFY ALL DIMENSIONS WITH EXISTING STRUCTURE
- ALL DIMENSIONS SHOWN ARE TO FINISH FACE UNLESS OTHERWISE NOTED
- REFER TO DRAWING A-901 FOR DETAILS OF PARTITION TYPES.
** ALL WALL TYPES TO BE TYPE 1' UNLESS OTHERWISE NOTED.
** FOR ALL PARTITION TYPES, WHERE PARTITION IS PART OF A WASHROOM, PANTRY OR JANITOR ROOM WALL, THE ROOM SIDE TO RECEIVE ONE LAYER 5/8" MOISTURE RESISTANT GYPSUM BOARD, TYPICAL U.N.O.
- PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB.
- PREPARE SLAB AS REQUIRED FOR SPECIFIED FINISH PER FINISH PLAN AND SCHEDULE.
- DOOR JAMB LOCATIONS SHALL BE TYPICAL 2" FROM ADJACENT WALL, U.N.O.
- PROVIDE SOUND INSULATION IN ALL INTERIOR WALLS INCLUDING BATHROOM WALLS AND CEILING OF DINING ROOM

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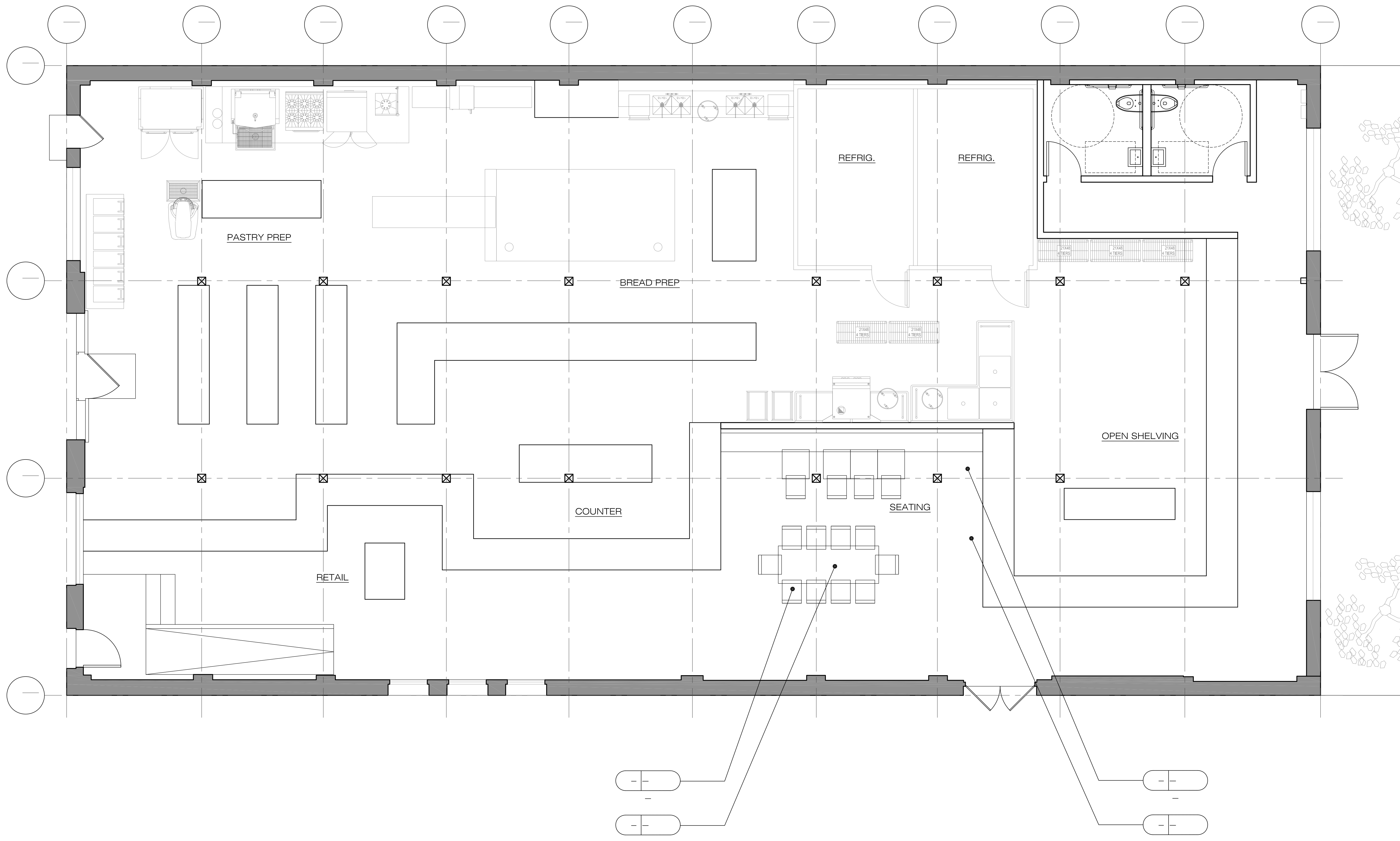
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PROJECT #: 028

DRAWING TITLE:
GROUND FLOOR PLAN

DRAWING NUMBER:
A-1.01



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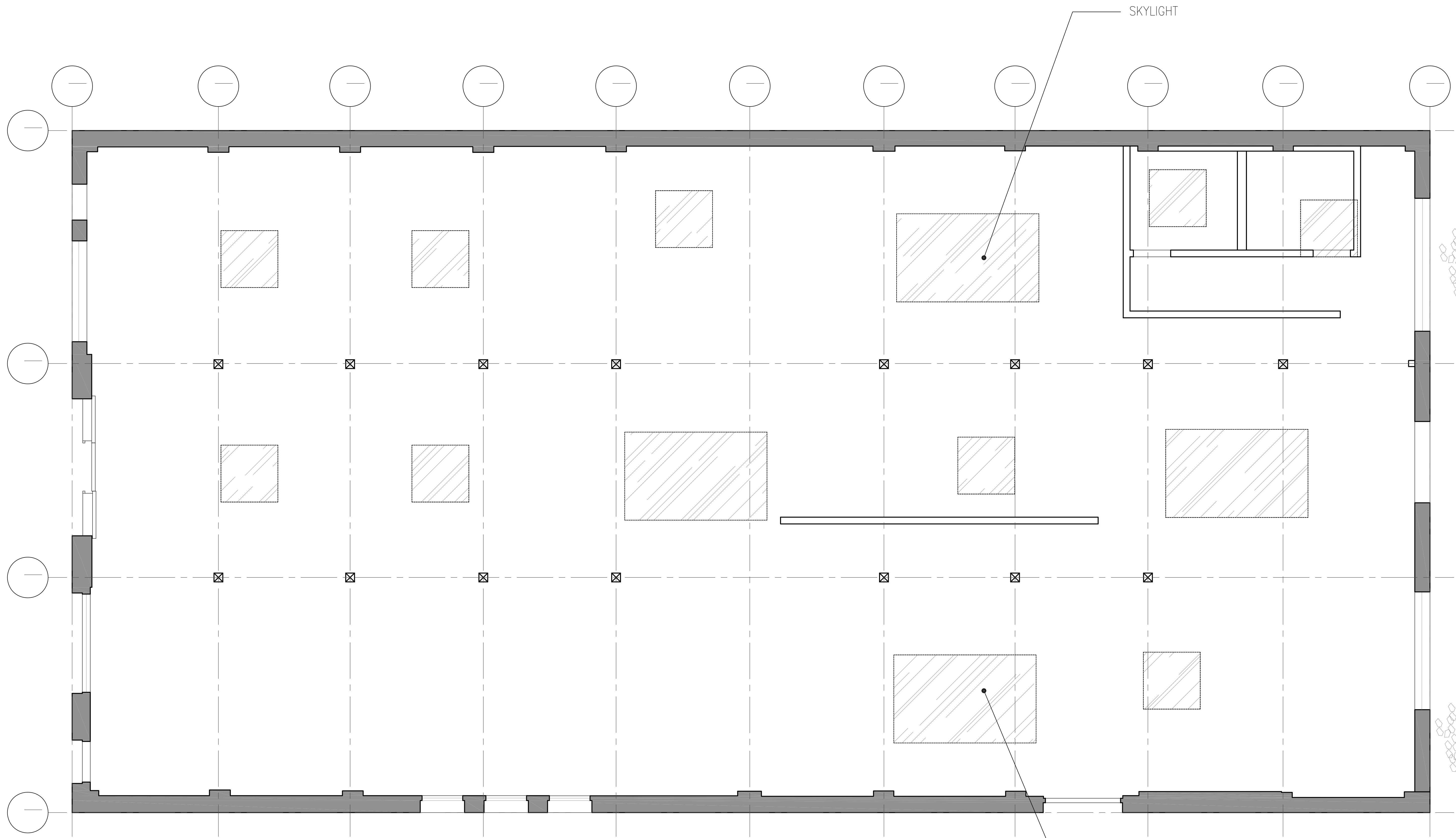
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 PROJECT #: 028
 DRAWING TITLE:
FIXTURES & FURNISHING PLAN

DRAWING NUMBER:
A-1.02

FIXTURES & FURNISHING PLAN

SCALE
 1/4" = 1'-0"



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PROJECT #: **028**

DRAWING TITLE:
REFLECTED CEILING PLAN

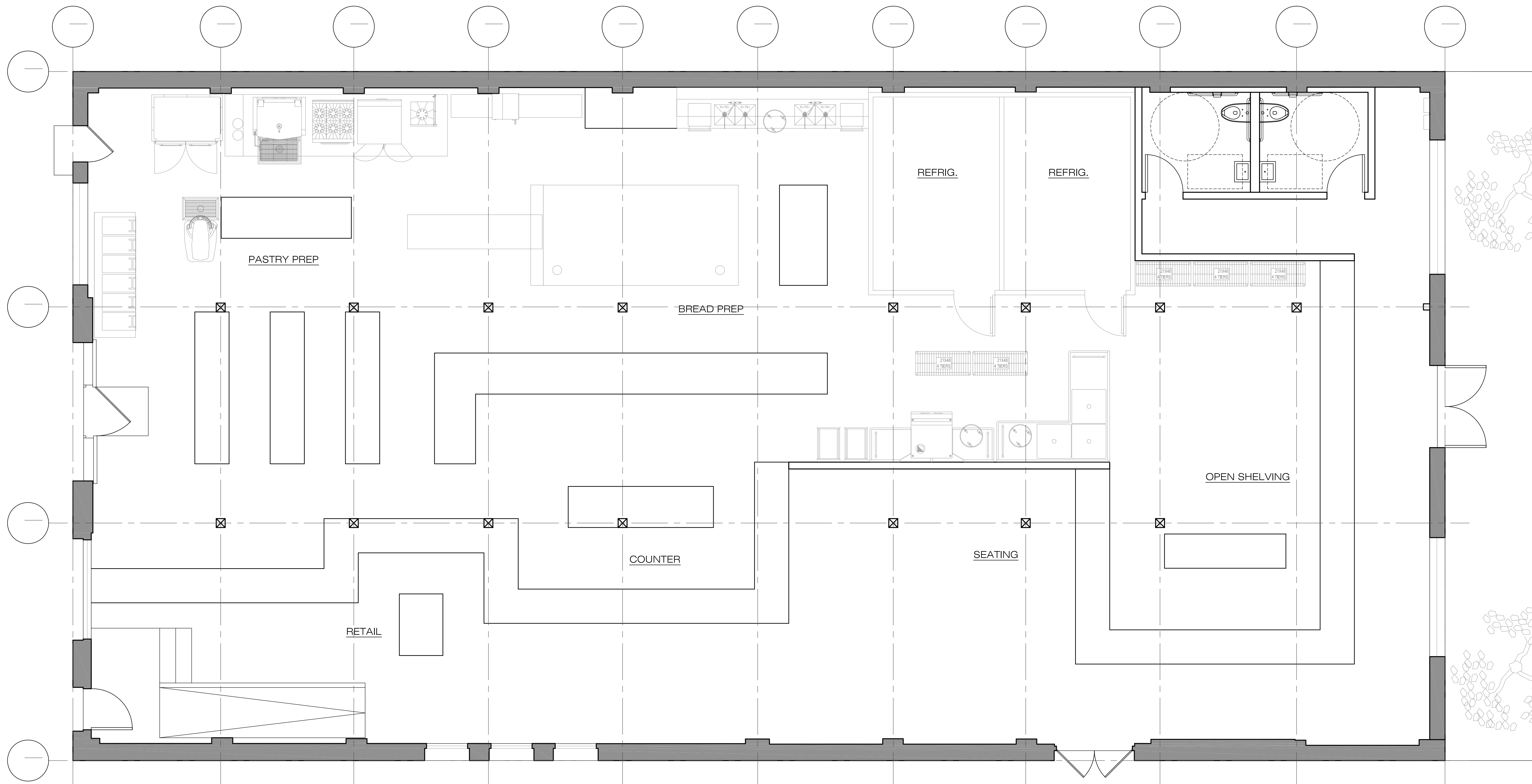
DRAWING NUMBER:

A-1.03

REFLECTED CEILING PLAN

SCALE
 1/4" = 1'-0"

1



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PROJECT #: 028

DRAWING TITLE:
 EQUIPMENT PLAN

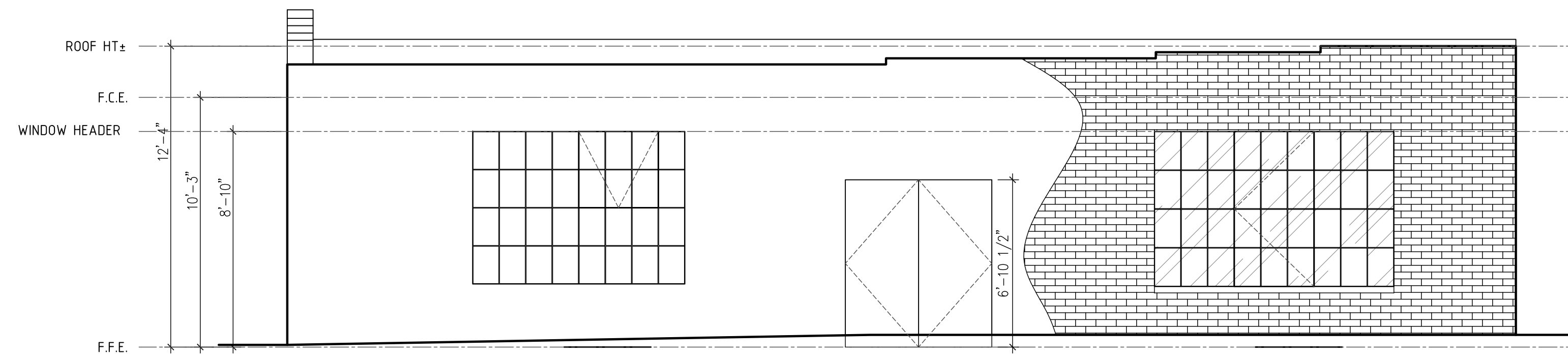
DRAWING NUMBER:

A-1.04

EQUIPMENT PLAN

SCALE
 1/4" = 1'-0"

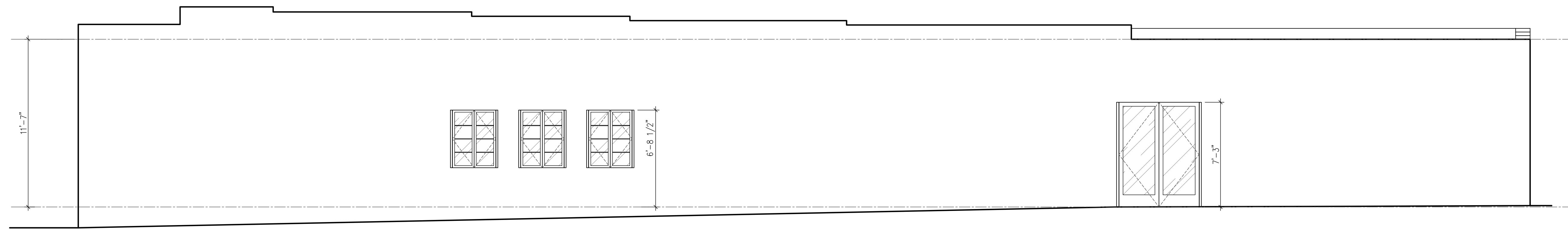
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SOUTHEAST ELEVATION

SCALE
1/4" = 1'-0"

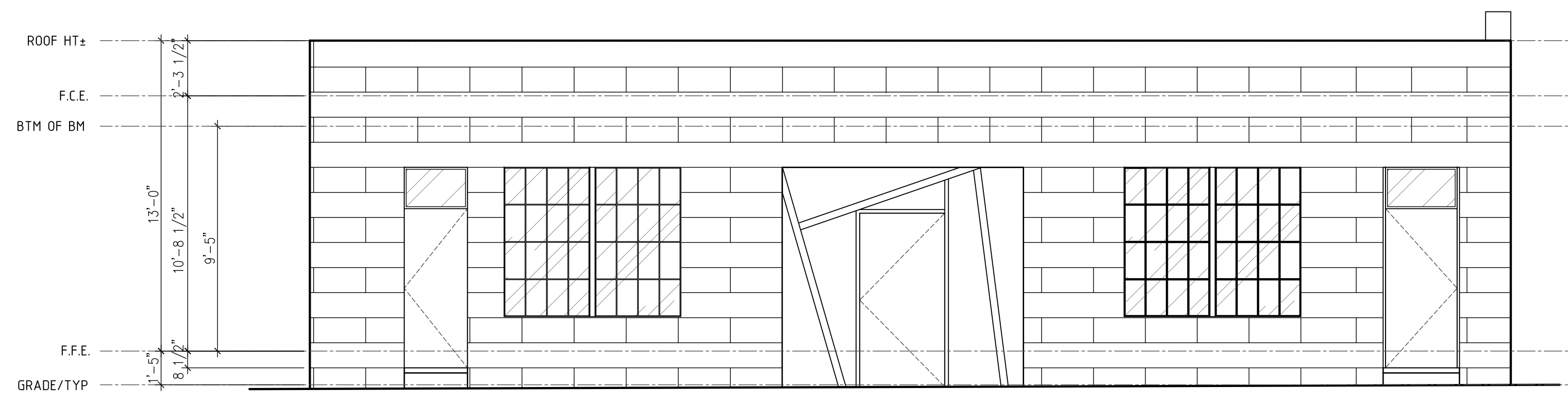
3



SOUTHWEST ELEVATION

SCALE
1/4" = 1'-0"

2



NORTHWEST ELEVATION

SCALE
1/4" = 1'-0"

1

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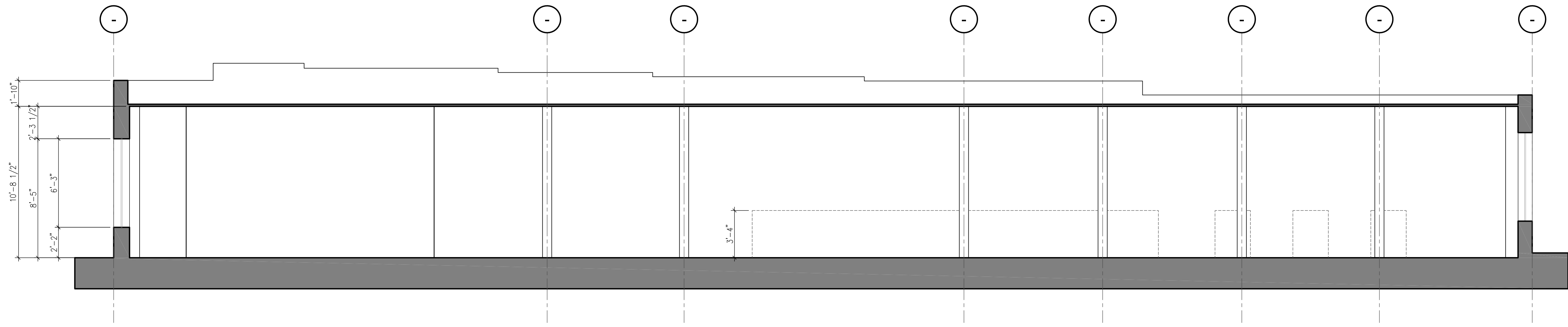
NOT FOR CONSTRUCTION

PROJECT #: 028

DRAWING TITLE:
EXTERIOR ELEVATIONS

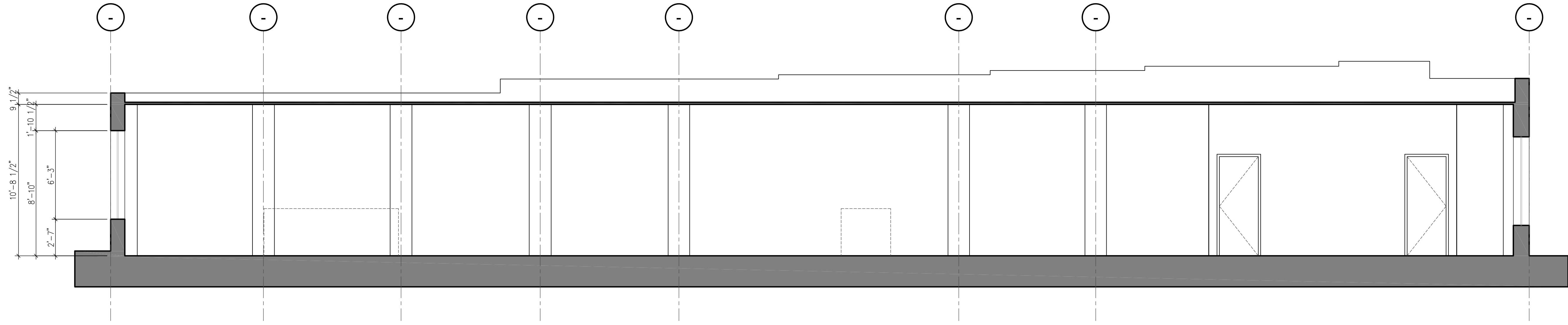
DRAWING NUMBER:

A-2.01



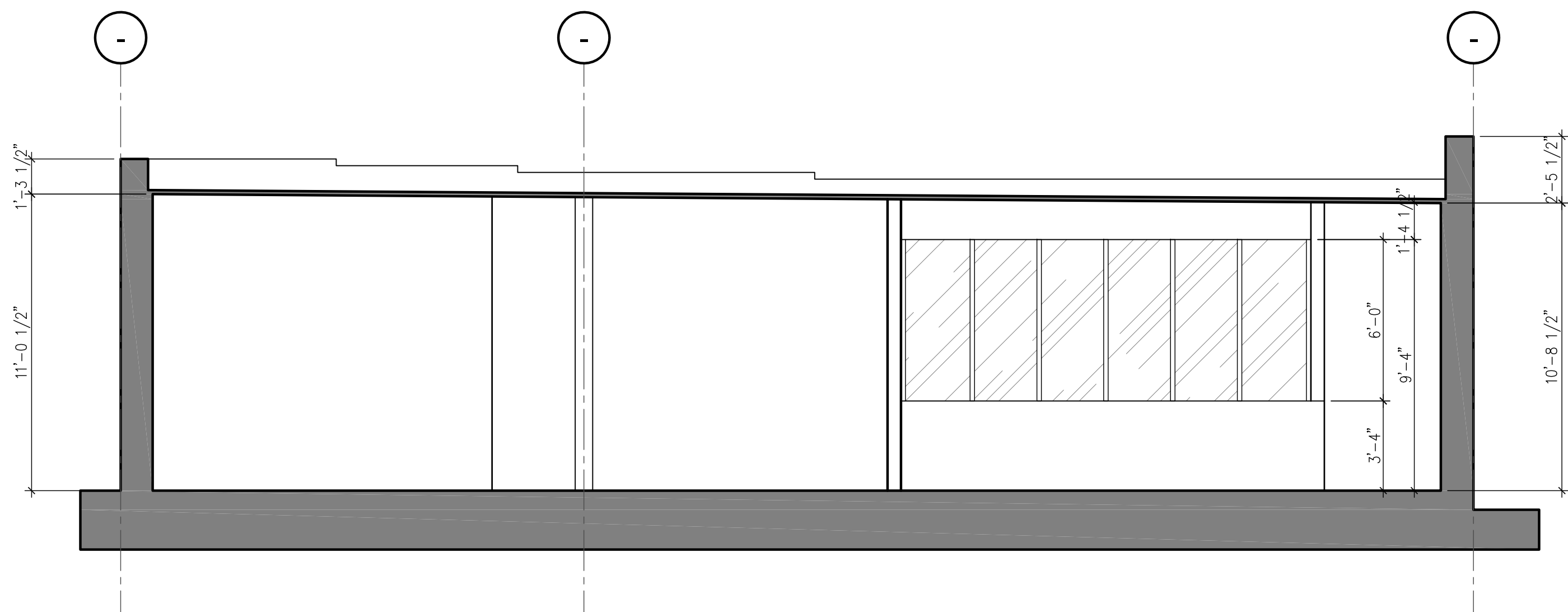
INTERIOR ELEVATIONS

SCALE
1/4" = 1'-0" 3



INTERIOR ELEVATIONS

SCALE
1/4" = 1'-0" 2



INTERIOR ELEVATIONS

SCALE
1/4" = 1'-0" 1

NO.	DATE	ISSUE/REVISION

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NOT FOR CONSTRUCTION
PROJECT #: 028

DRAWING TITLE:
INTERIOR
ELEVATIONS

DRAWING NUMBER:
A-2.02

DATE ISSUE/REVISION

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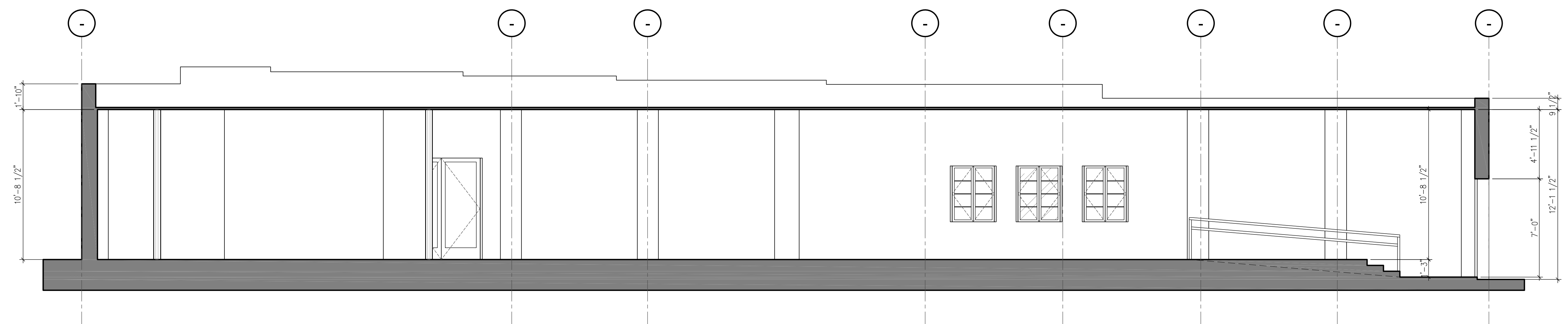
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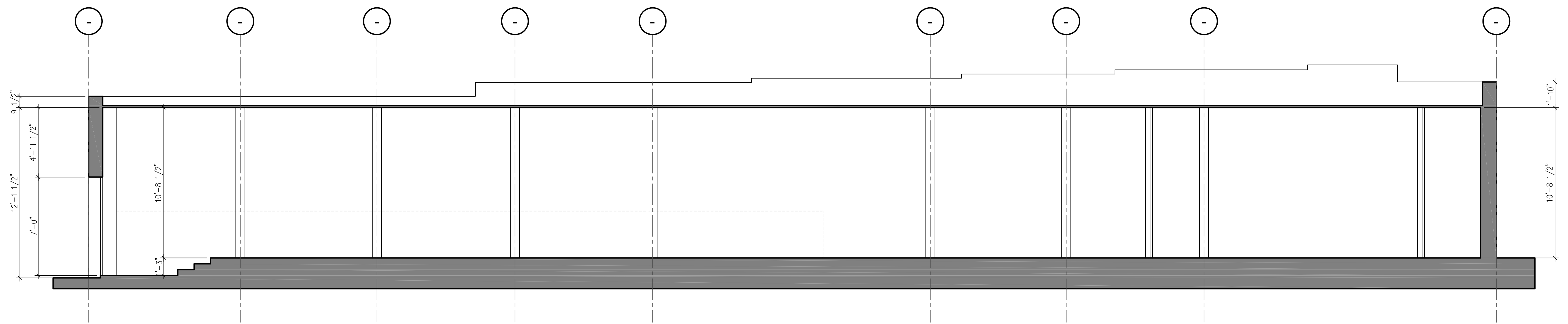
DRAWING TITLE:
INTERIOR ELEVATIONS

DRAWING NUMBER:
A-2.03



INTERIOR ELEVATIONS

SCALE
 1/4" = 1'-0" 2



INTERIOR ELEVATIONS

SCALE
 1/4" = 1'-0" 1